



ROANOKE COUNTY

Purchasing Division

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October 17, 2019

IFB # 2020-026
Roof Removal & Replacement at the Bent Mountain Center

ADDENDUM NO. 1

Revised Plans and Specifications

Due Date & Time:
October 24, 2019, 2:00 PM
(Local Prevailing Time)

IFB# 2020-026
Roof Removal & Replacement at the Bent Mountain Center
ADDENDUM NO. 1

- 1. Revisions to Project Specifications** – Per discussion at the mandatory pre-bid meeting conducted on October 15, 2019, please see the below clarifications and/or revisions to the project scope and specifications. Cost of all items below shall be included in the Base Bid line item of the Price Form.
 - a.** Revision to sheet D1.1: Attic ventilators shall be removed and replaced; cost to be included in the Base Bid line item of the Price Form. Replacement ventilator shall be Greenheck GRSI Gravity Ventilator or equivalent, with prefab curb. Please see Exhibit B to Addendum 1 for item specifications; the estimated appropriate model size 20 is highlighted. Size may differ slightly once roof is removed and opening size is verified by Contractor. Complete specifications of any equivalent model proposed must be included in the bid package as applicable. (Coordinate new roof ventilator with sheet A1.1).
 - b.** Use 5.20" minimum, R-30 polyiso rigid insulation; $\frac{1}{4}$ "/ft. slope as per specs (Sheet A1.1).
 - c.** Cut back existing metal roof approximately 6-8" and remove existing cleats for installation of new metal flashing (Sheet D1.1 & Detail 7/A1.2).
 - d.** Roof slopes to be revised to show crickets at both sides and front (sheet A1.1).
 - e.** Use 5/16" cementitious panel at existing window openings; Detail 9/A1.2 to be revised.
- 2. Updated Price Form** – Please see Exhibit A to Addendum No. 1 for the updated price form. Line items have been added to cover slate shingle replacement, as well as a base bid on a 90-day schedule. This revised form should be used for bid submittals, replacing the original document. Failure to include the revised price form may result in disqualification of a bidder's response.
- 3. Revised Project Plans** – Please see Exhibit C to Addendum No. 1 for a copy of the project plans including revisions as discussed in the pre-bid meeting held on October 15, 2019. Where there may be a conflict between the original plans and these revised plans, the revised plans shall govern.

**EXHIBIT A TO
ADDENDUM NO. 1 TO IFB# 2020-026
Roof Removal & Replacement at the Bent Mountain Center**

REVISED Price Form & Signature Page

REVISED PRICE FORM AND SIGNATURE PAGE
INVITATION TO BID #2020-026 BENT MOUNTAIN CENTER ROOF REPLACEMENT

Item	Cost
Base Bid Price – 60 day schedule	
Base Bid Price – 90 day schedule	
Slate Shingle Replacement (beyond work shown on sheet A1.1 note 11.1; price per shingle)	
Hauling (\$/ton/mile)	
Curb Replacement for exhaust fans, etc. (\$/per typical replacement)	
Cap Flashing Replacement (\$/per linear foot, for any additional beyond Drawings)	
Parapet Blocking (\$/per 12'-0" section, including bolting)	
Roof Drain Replacement (\$/per roof drain, additional to Drawings)	
Roof Drain Supports (\$/per roof drain location, additional to Drawings)	
Thru-Wall scupper Replacement (\$/per typical replacement)	
Roof Decking Replacement (\$/per square foot of roof area)	

BIDDERS SIGNING THE BID FORM AGREE THAT THE PRODUCT BEING BID CONFORMS TO ALL SPECIFICATIONS LISTED IN THE BID. BIDDER CERTIFIES THAT BY SUBMISSION OF THIS BID, HE HAS READ AND AGREES TO THE TERMS AND CONDITIONS SET FORTH IN THIS INVITATION TO BID.

DATE _____

PAYMENT TERMS NET 30

COMPANY NAME _____

ADDRESS _____ PHONE # _____

_____ FAX # _____

_____ EMAIL _____

FEIN _____ VA BUSINESS LICENSE NO. _____

VIRGINIA SCC # OR STATEMENT DESCRIBING WHY FIRM IS NOT REQUIRED TO BE SO AUTHORIZED PER VA CODE §2.2-4311.2 _____

SIGNATURE / TITLE _____

NAME / TITLE (please print) _____

To receive consideration for award, this signature sheet must be returned to the Purchasing Division, as it shall be a part of your response.

**EXHIBIT B TO
ADDENDUM NO. 1 TO IFB# 2020-026
Roof Removal & Replacement at the Bent Mountain Center**

Specifications Sheet: Greenheck GRSI Gravity Ventilator

Spun Aluminum Model GRSI/GRSR/GRSF

GREENHECK
Building Value in Air.

10/16/19



Construction Features

When you buy a Greenheck Gravity Ventilator, you receive a ventilator with the industry's best performance and durability for intake (model GRSI) or relief (model GRSR) for natural gravity or positive pressure systems. Exceptional low silhouette design and construction features make this unit a rugged, efficient and economical air inlet or outlet.

- Broadest performance in the industry, up to 18,400 cfm (31,300 m³/hr)
- Most advanced weather protection of any ventilator in its class
- Greenheck subjects these products to extensive life testing, assuring the ventilator will provide years of reliable performance

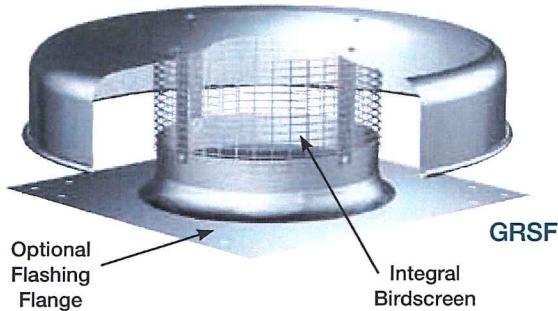
- All aluminum exterior for corrosion-resistant construction
- Integral birdscreen to prevent entry of birds and/or small objects
- Built-in curb cap with prepunched holes for easy attachment to roof curbs
- Optional built-in flashing flange (model GRSF) with prepunched holes for quick and easy installations without a roof curb.

The GRS can be used with the following accessories:

Gravity or motorized dampers to assure weather tightness.

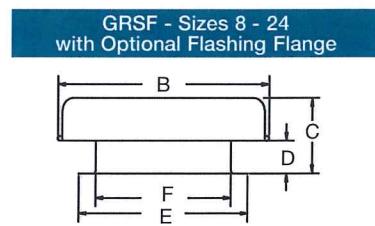
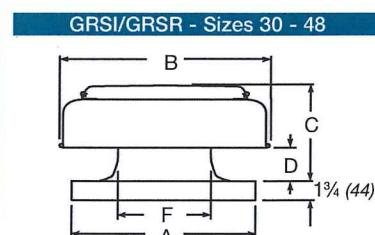
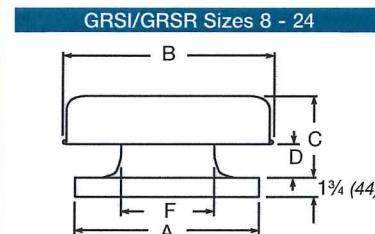
Prefab curbs to reduce installation time.

Protective coatings to extend the life of the unit or blend its color with other equipment.



Dimensions										
Model Size	A	B	C	D	E	F	Damper Size	Curb Thickness	Shroud Thickness	Unit Weight
8	19 (483)	20½ (521)	7¼ (184)	1½ (38)	20¼ (514)	8¼ (210)	8 x 8 (203 x 203)	0.051 (1.3)	0.051 (1.3)	7 (3)
10	19 (483)	20½ (521)	7¼ (197)	2 (51)	20¼ (514)	10¼ (260)	10 x 10 (254 x 254)	0.051 (1.3)	0.051 (1.3)	8 (4)
12	22 (559)	29 (737)	10 (254)	3½ (89)	23¾ (591)	12½ (311)	12 x 12 (305 x 305)	0.064 (1.6)	0.064 (1.6)	10 (5)
15	22 (559)	29 (737)	10 (254)	3½ (89)	23¾ (591)	14¼ (362)	16 x 16 (406 x 406)	0.064 (1.6)	0.064 (1.6)	13 (6)
16	26 (660)	29 (737)	11 (279)	4½ (108)	27¼ (692)	16½ (413)	16 x 16 (406 x 406)	0.064 (1.6)	0.064 (1.6)	16 (7)
18	30 (762)	35½ (902)	9¾ (248)	1¾ (44)	31¼ (794)	20¼ (514)	18 x 18 (457 x 457)	0.064 (1.6)	0.064 (1.6)	19 (9)
20	30 (762)	35½ (902)	11¼ (286)	3¾ (95)	31¼ (794)	20¼ (514)	18 x 18 (457 x 457)	0.064 (1.6)	0.064 (1.6)	24 (11)
24	34 (864)	38¼ (972)	11 (279)	4 (102)	35¼ (895)	24½ (622)	24 x 24 (610 x 610)	0.064 (1.6)	0.064 (1.6)	29 (13)
30	40 (1016)	48 (1219)	18¾ (476)	5¾ (138)	-	30½ (775)	30 x 30 (762 x 762)	0.064 (1.6)	0.064 (1.6)	35 (16)
36	46 (1168)	56¾ (1441)	21¼ (540)	6 (152)	-	36½ (927)	36 x 36 (914 x 914)	0.064 (1.6)	0.080 (2.0)	45 (20)
42	52 (1321)	63¼ (1607)	24¼ (616)	6½ (159)	-	42½ (1089)	42 x 42 (1067 x 1067)	0.064 (1.6)	0.080 (2.0)	60 (27)
48	58 (1473)	72 (1829)	26¼ (667)	6½ (165)	-	48½ (1232)	48 x 48 (1219 x 1219)	0.064 (1.6)	0.080 (2.0)	80 (36)

All dimensions in inches (millimeters) and the weight in pounds (kilograms). NOTE: Sizes GRS-8 through 24 have a one-piece cover and shroud. Access is gained through the removal of screws. Sizes GRS-30 through 48 have a removable cover, separate from the shroud, to facilitate maintenance and servicing of dampers.



**EXHIBIT C TO
ADDENDUM NO. 1 TO IFB# 2020-026
Roof Removal & Replacement at the Bent Mountain Center**

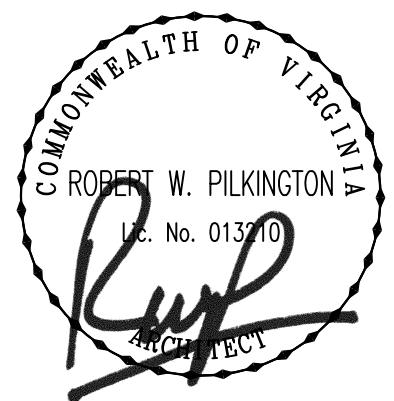
REVISED Project Plans



BALZER & ASSOCIATES
PLANNERS / ARCHITECTS
ENGINEERS / SURVEYORS

Roanoke / Richmond
New River Valley / Staunton
Harrisonburg / Lynchburg
www.balzer.cc

1208 Corporate Circle
Roanoke, VA 24018
540.772.9580



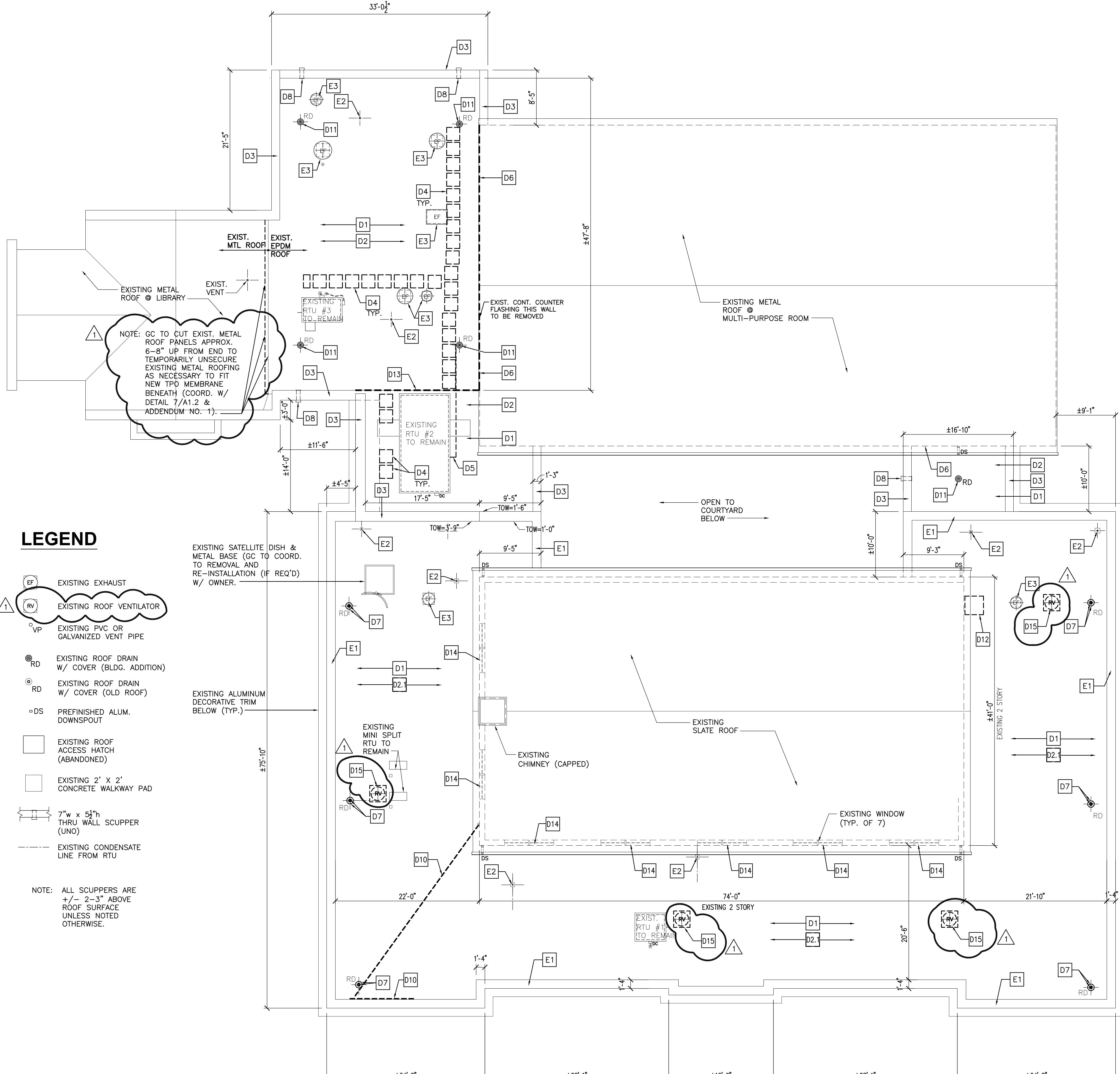
ROBERT W. PILKINGTON
LIC. NO. 013710
PROJECT

BENT MOUNTAIN CENTER

ROOF REPLACEMENT

EXISTING ROOF PLAN

1048 TINSLEY LANE
BENT MOUNTAIN, VIRGINIA 24059



DEMOLITION KEYNOTES

- D1 REMOVE EXISTING GRAVEL BALLAST.
- D2 REMOVE EXISTING LOOSE-LAID MEMBRANE ROOFING AND RIGID INSULATION.
- D2.1 REMOVE EXISTING BUILT-UP ROOFING IN ENTIRELY DOWN TO EXISTING WOOD DECKING.
- D3 REMOVE EXISTING METAL COPING FROM EXISTING PARAPET. INSPECT ALL EXISTING P.T. BLOCKING. PREP FOR NEW PREFINISHED COPING W/ INTEGRAL DRAINAGE CHAIR.
- D4 REMOVE EXISTING WALKWAY PAD.
- D5 REMOVE EXISTING RTU CONDENSATE DRAIN FOR INSTALLATION OF NEW ROOF. REPLACE WITH NEW CONDENSATE LINE AS NEEDED.
- D6 REMOVE EXISTING TERMINATION BAR AT WALL; REMOVE EXISTING ROOF MEMBRANE UP WALL.
- D7 REMOVE EXISTING CAST IRON STRAINER AND EXISTING ROOF DRAIN (EXISTING DRAIN PIPE BELOW TO REMAIN).
- D8 REMOVE EXISTING SCUPPER AND SALVAGE/STORE FOR RE-INSTALL WITH NEW ROOF INSTALLATION.
- D9 (NOT USED)
- D10 REMOVE EXISTING CONDUIT, LOW VOLTAGE WIRING AND PVC CONDUIT AT EXISTING PARAPET WALL (GC TO VERIFY CIRCUIT(S) ARE "DEAD" AT SOURCE).
- D11 REMOVE EXISTING CAST IRON STRAINER AT EXISTING ROOF DRAIN; TEMPORARILY REMOVE EXISTING DRAIN AND RE-INSTALL AFTER DECKING REPLACEMENT, WHERE REQ'D.
- D12 REMOVE EXISTING CURB FOR ABANDONED ROOF HATCH / ACCESS PROVIDE WOOD DECKING INFILL AND FRAMING AT REMAINING OPENING (APPROX. 2'-10" x 2'-10" OPNG.).
- D13 REMOVE EXISTING GRAVEL STOP.
- D14 REMOVE EXISTING GALVANIZED WINDOW SILL FLASHING AND EXISTING STORM WINDOW (SEE DETAIL 9/A1.2).
- D15 REMOVE EXISTING ROOF VENTILATOR.

KEYNOTES - EXISTING ITEMS TO REMAIN

- E1 EXISTING PRECAST CONCRETE COPING TO REMAIN.
- E2 EXISTING GALVANIZED VENT PIPE TO REMAIN. GC TO COORD. REMOVAL / RE-INSTALLATION IF REQUIRED FOR RE-ROOFING PROCESSES.
- E3 EXISTING ROUND OR RECTANGULAR EXHAUST VENT/FAN AND CURB TO REMAIN. GC TO COORD. REMOVAL / RE-INSTALLATION IF REQUIRED FOR RE-ROOFING PROCESSES.



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ROBERT W. PILKINGTON
LIC. NO. 01370
Ruf
PROJECT

BENT MOUNTAIN CENTER

ROOF REPLACEMENT

ROOF PLAN

1048 TINSLEY LANE
BENT MOUNTAIN, VIRGINIA 24059

DRAWN BY: BSH
DESIGNED BY: BSH/RWP
CHECKED BY: RWP
DATE: 10/2/2019
SCALE: AS INDICATED
REVISIONS:

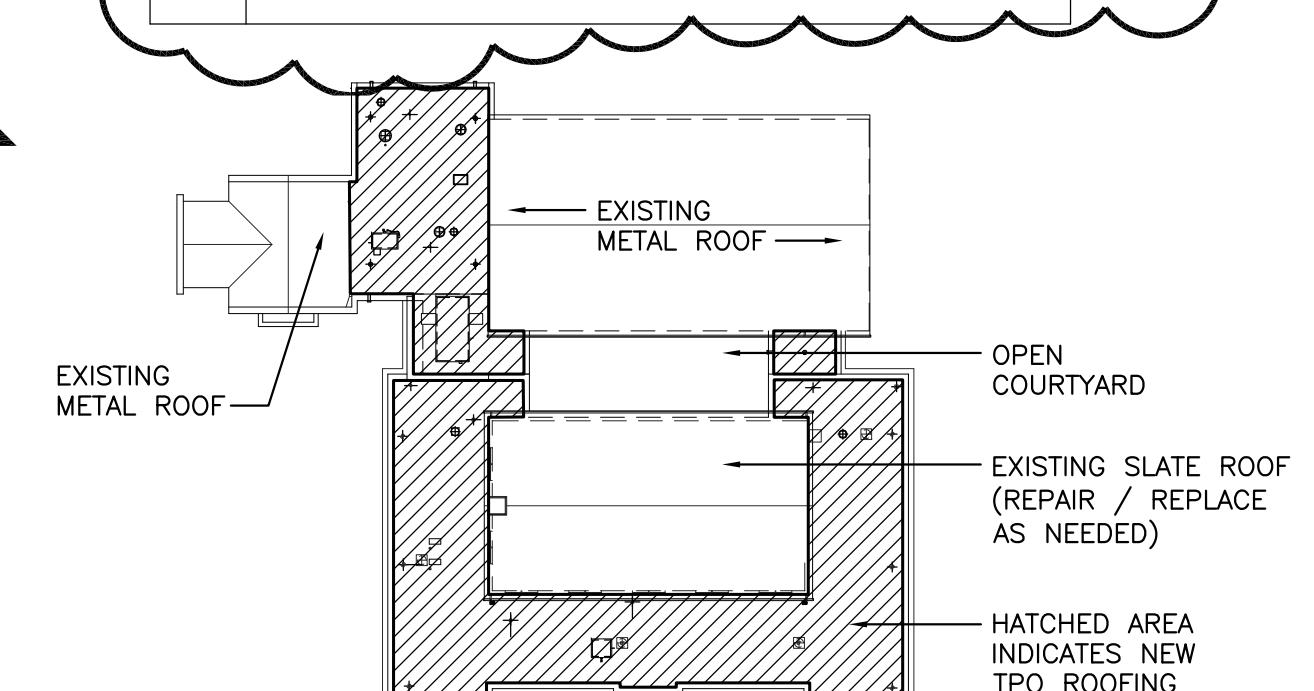
OCT. 17, 2019
ADDENDUM NO. 1

ROOF PLAN GENERAL NOTES:

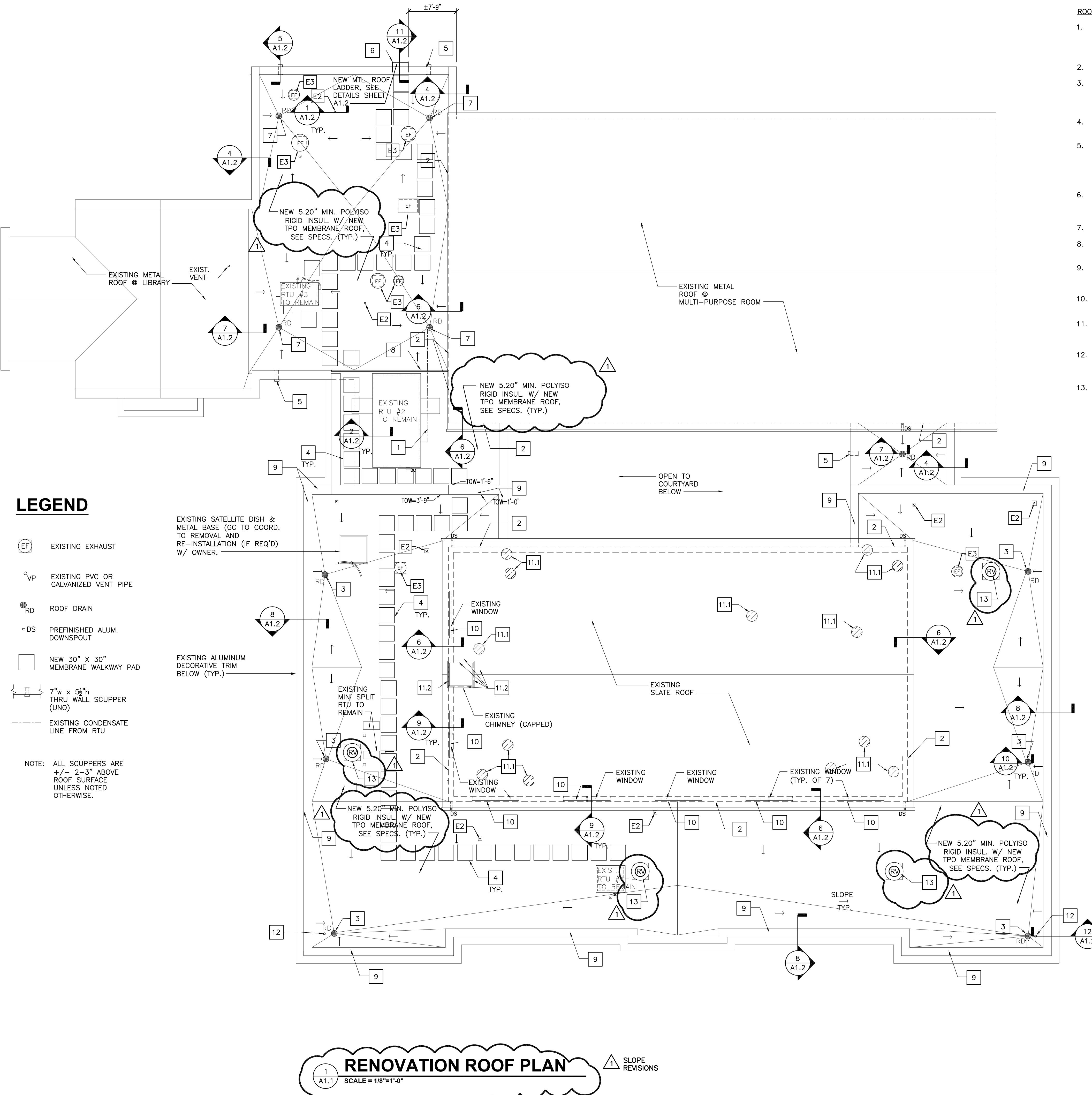
1. ROOFING MEMBRANE SYSTEM TO BE EXTENDED UP PARAPET AND TERMINATED UNDER EXISTING METAL COPING. ALL ROOFING PROCESSES, INCLUDING REQUIRED MATERIALS FOR INSTALLATION, PRODUCT SPECIFICATIONS AND INSTALLATION OF ROOFING ASSEMBLY TO BE PER ROOFING MEMBRANE MANUFACTURER'S STRICT GUIDELINES.
2. ALL METAL WORK SHALL CONFORM TO LATEST EDITION OF "SMACNA" STANDARD DETAILS.
3. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH MECHANICAL & PLUMBING DRAWINGS, INCLUDING ROOF-MOUNTED MECH. UNITS, EXHAUST FANS, VENT PIPES, ETC. PRIOR TO CONSTRUCTION. REPORT ANY INCONSISTENCIES IMMEDIATELY TO ARCHITECT.
4. PROVIDE ALL REQUIRED INSULATED ROOF BOOTS, CURBS AND WALKWAY PADS TO & AROUND ALL ROOF-MOUNTED EQUIPMENT.
5. RIGID INSULATION TO MEET R-30 (AVERAGE ACROSS ROOF), THICKNESS TO BE AS REQUIRED (5" POLYISO PER SPECS.). ROOF SLOPE SHALL BE 1/4" PER 12" MINIMUM FOR ALL MAIN ROOF SLOPES SHOWN, BUT MAY BE REDUCED IF REQUIRED PER IBC 1510.1, EXCEPTION (RE-ROOFING); CONTRACTOR SHALL VERIFY IN FIELD THAT NEW ROOF SLOPE WILL PROVIDE POSITIVE DRAINAGE TO EXISTING ROOF DRAINS.
6. ANY NEW "CRICKETS" FORMED IN RIGID INSULATION ARE PREFERRED TO BE 1/4" PER 12", BUT SHALL BE A MINIMUM OF 1/8" PER 12". PROVIDE TOP LAYER PROTECTION MATERIAL PER MANUFACTURERS' RECOMMENDATIONS.
7. PROVIDE "CRICKETS" AROUND ALL MECHANICAL UNITS, VENTS, ETC. AS REQ.
8. ALL PLUMBING VENTS SHALL BE HELD A MINIMUM OF 10'-0" FROM ANY RTU AIR INTAKE.
9. ALL DIMENSIONS SHOWN TO ROOF-TOP MECHANICAL EQUIPMENT ARE APPROXIMATE, MEASURED TO OUTSIDE EDGE OF PARAPET. CONTRACTOR SHALL COORDINATE EXACT DIMENSIONS REQUIRED WITH MECHANICAL AND FRAMING CONTRACTORS.
10. EXISTING ROOF DRAINAGE SCUPPER, CONTRACTOR REPAIR AS REQ. OR REPLACE WITH SIMILAR SIZE/MATERIAL AND PROVIDE NEW DOWNSPOUT IF REQUIRED.
11. ALL ROOF ACCESS SHALL BE FROM EXTERIOR OF BUILDING VIA CONTRACTOR'S LADDER. THE EXISTING ROOF HATCH SHALL NOT BE USED FOR ANY ROOF ACCESS DURING CONSTRUCTION.
12. ANY REPLACEMENT CAP FLASHING SHALL BE INSTALLED IN INCONSPICUOUS LOCATIONS, CONTRACT COORDINATE LOCATIONS OF ALL CAP FLASHING (EITHER RE-INSTALLED OR NEW) WITH OWNER PRIOR TO INSTALLATION.
13. ALL WORK REQUIRED FOR INSTALLING NEW ROOFING IN GENERAL AND PRIMARY ROOF DRAINS/EMERGENCY DRAINS IN ORIGINAL BUILDING (DETAILS 10 AND 12 ON SHEET A1.2) IS INTENDED TO BE CARRIED OUT FROM ABOVE ROOF, NO INTERIOR BUILDING DEMOLITION WILL BE ALLOWED, AS SUCH, CONTRACTOR SHALL INCLUDE WITH BID ANY NECESSARY DECKING REMOVAL AND REPLACEMENT AS REQUIRED TO INSTALL DRAINS OR OTHERWISE PERFORM ALL WORK SHOWN HEREIN.

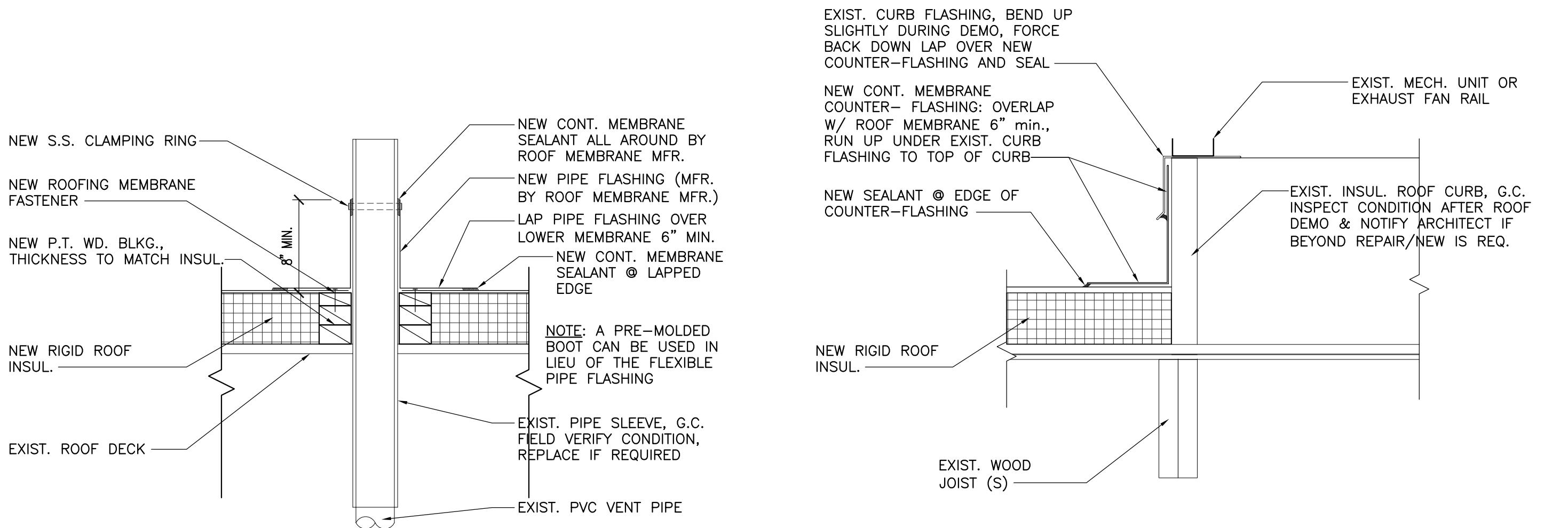
ROOF PLAN KEYNOTES THIS SHEET

1. INSTALL NEW CONDENSATE LINE FROM EXISTING RTU TO ROOF DRAIN. MATCH EXISTING LINE Ø. PROVIDE NEW PIPE SUPPORTS, SEE SPECS.
2. EXTEND MEMBRANE ROOFING UP EXISTING PARAPET WALL, PROVIDE TERMINATION BAR @ TOP MIN. 24" ABOVE ROOF SURFACE (SEE DETAIL 6/A1.2).
3. NEW ROOF DRAIN, PROVIDE NEW STRAINER TO MATCH EXIST. AS REQUIRED, RECONNECT TO EXIST. DRAIN PIPE.
4. NEW 30"x30" MEMBRANE RUBBER WALKWAY PAD. (MFR. STANDARD)
5. RE-INSTALL EXIST. THRU-WALL SCUPPER OR REPLACE W/ NEW, SEE DETAIL ON SHEET A1.2
6. NEW STEEL LADDER W/ GALV. HINGED SECURITY GATE (SEE DETAIL 11/A1.2).
7. RE-INSTALL EXISTING STRAINER AT EXISTING ROOF DRAIN.
8. INSTALL NEW GALVANIZED GRAVEL STOP AT EXISTING ROOF EDGE.
9. INSTALL NEW SLOPED PRE-FINISHED METAL COPING ON EXISTING PRECAST CONCRETE CAP (SEE DETAIL 8/A1.2).
10. INSTALL NEW CONT. P.T. 2 X NAILER (AT WINDOW SILL AND HEAD), 3/4" P.T. PLYWD AND 5/16" CEMENTITIOUS PANEL AT ENTIRE EXISTING WINDOW OPENING. SEE DETAIL 9/A1.2.
11. REPAIR / REPLACE EXISTING SLATE ROOF AT AREAS SHOWN. GO TO INSPECT TOP PORTIONS OF ROOF SLOPE AND REPAIR AS REQ'D. ± 4-6 TILES AT EACH REPLACEMENT AREA.
- 11.1. REMOVE EXISTING FLASHING AT EXISTING BRICK CHIMNEY. PROVIDE NEW FLASHING AND REPAIR / REPLACE ANY ADJACENT SLATE TILES AS REQ'D.
12. NEW EMERGENCY OVERFLOW ROOF DRAIN @ ORIG. BLDG. ROOF, SEE DETAIL 12/A1.2.
13. NEW ROOF VENTILATOR - SEE ADDENDUM NO. 1.

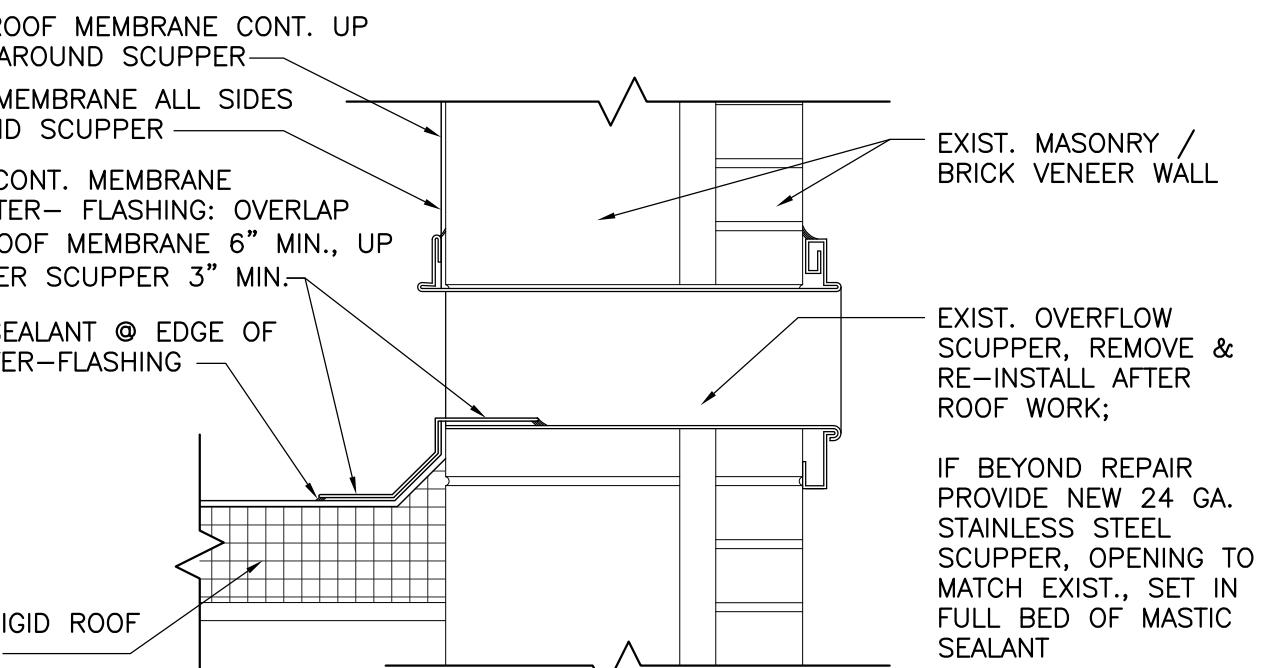


KEY PLAN
NO SCALE

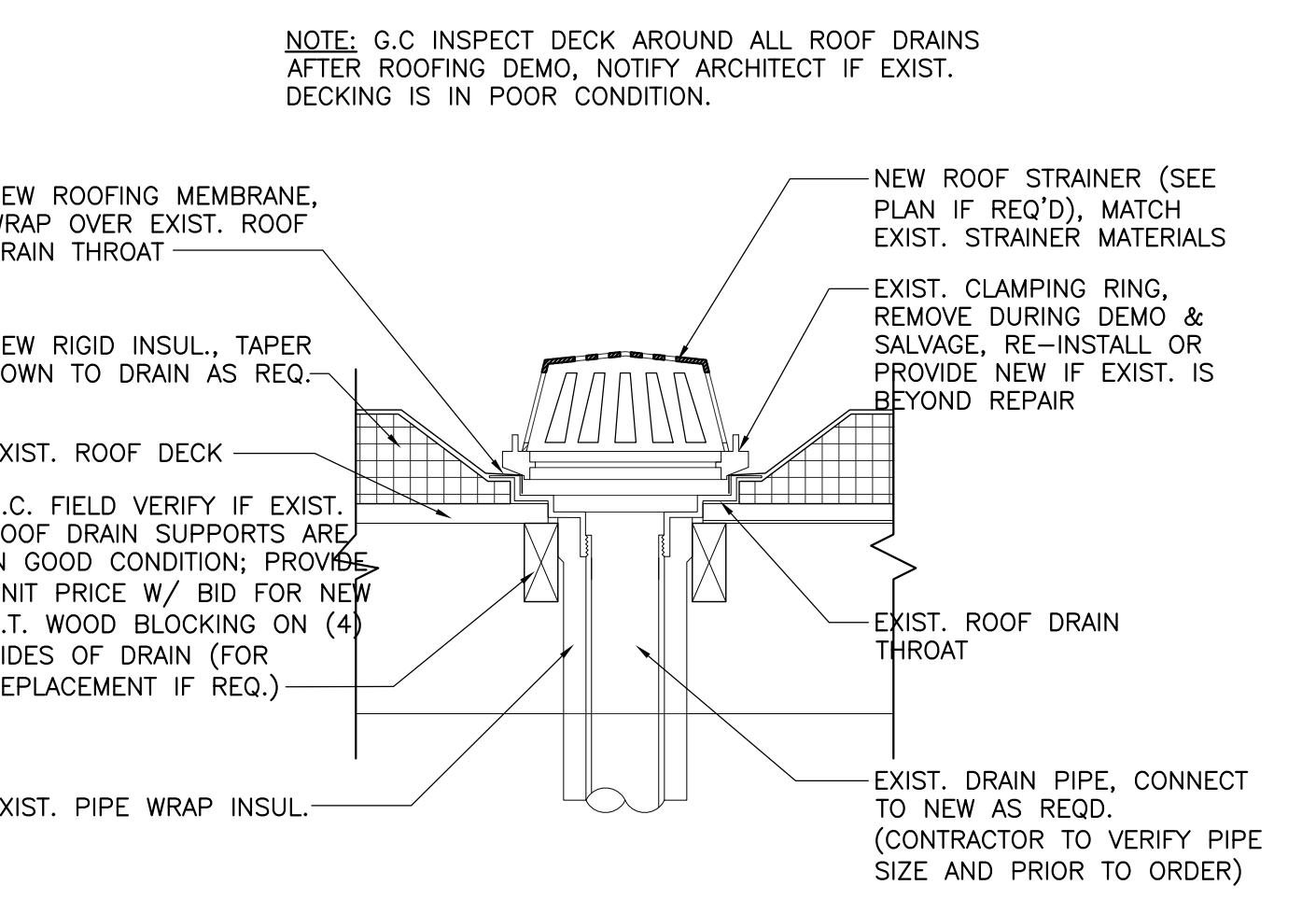




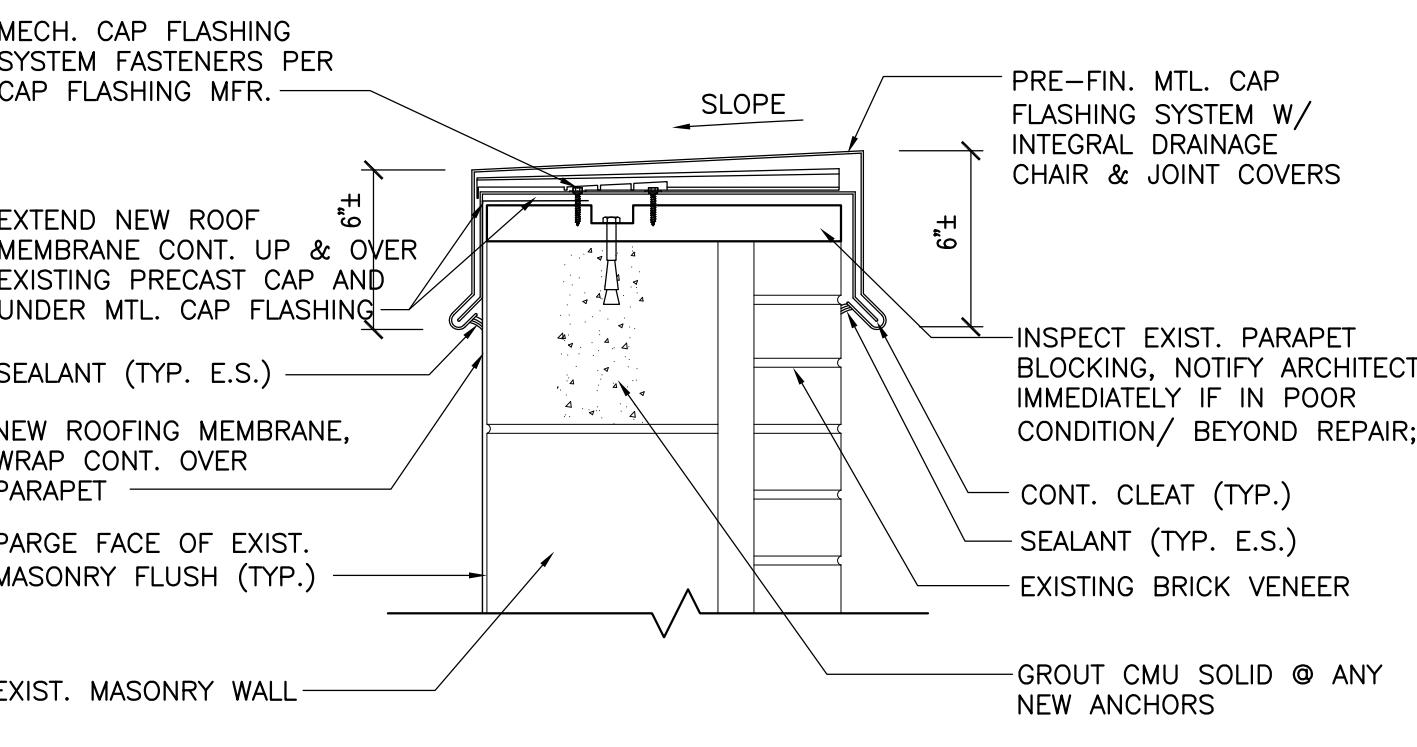
VENT STACK DETAIL



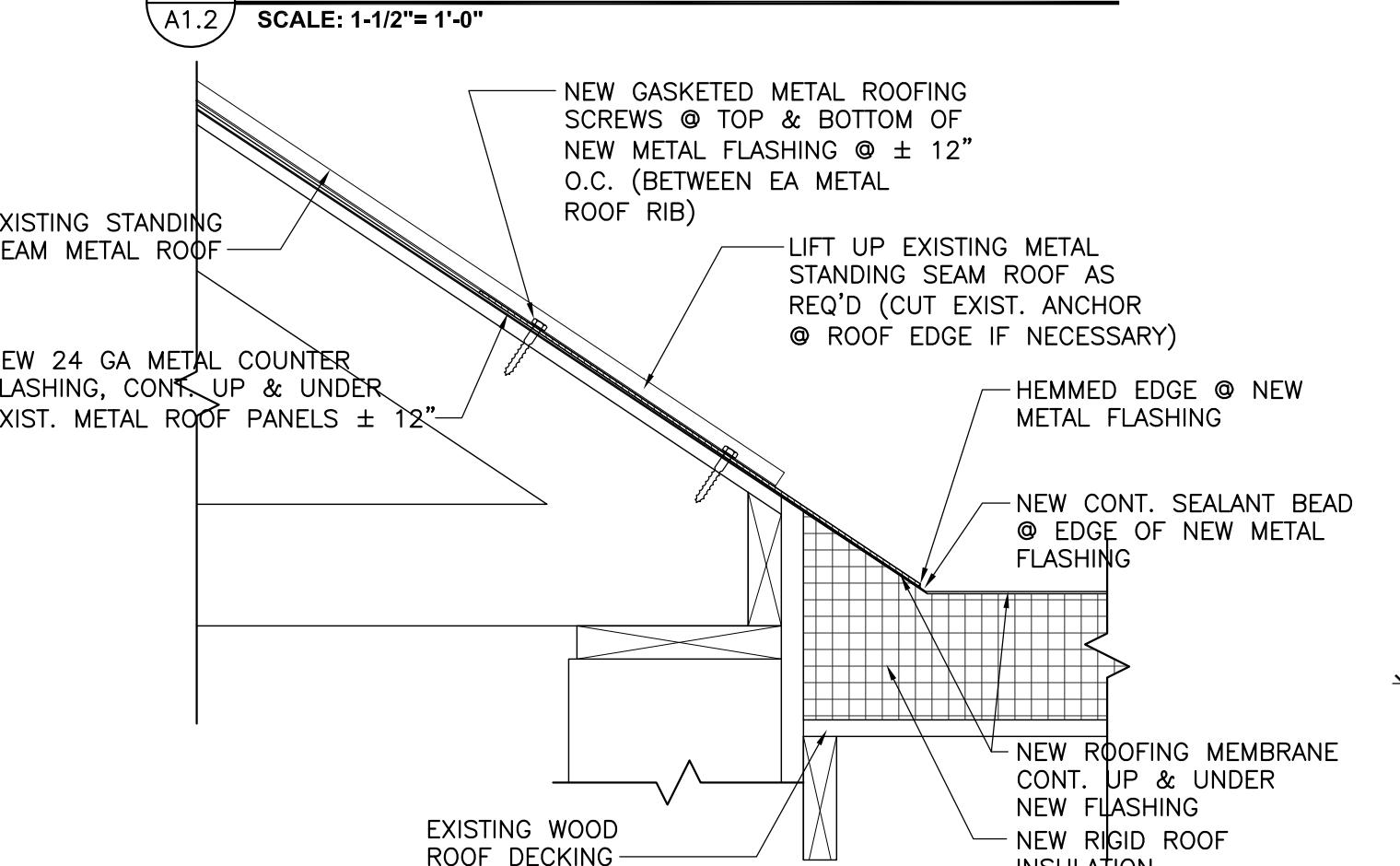
RTU CURB DETAIL



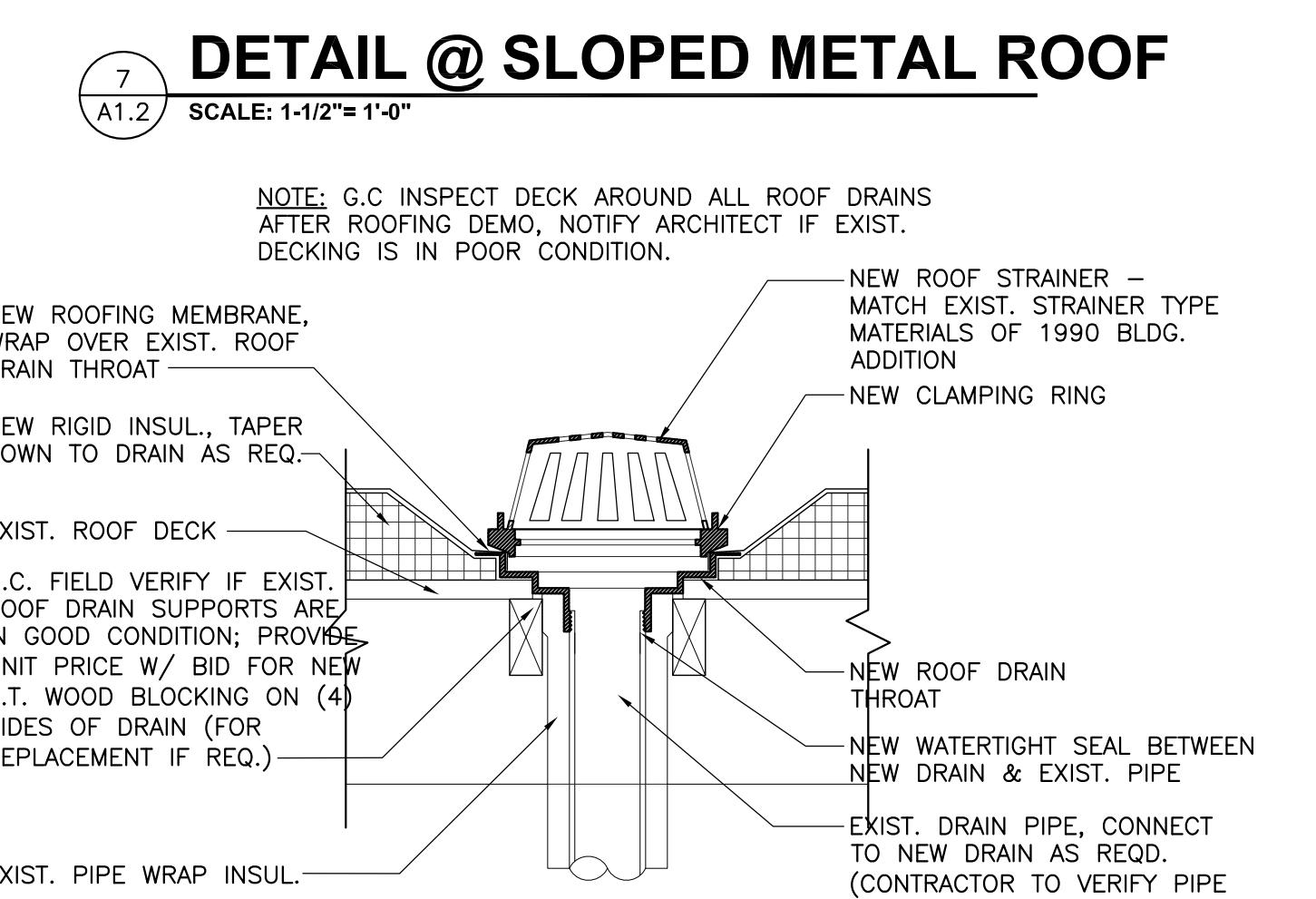
**(1990 ADDITION)
ROOF DRAIN DETAIL**



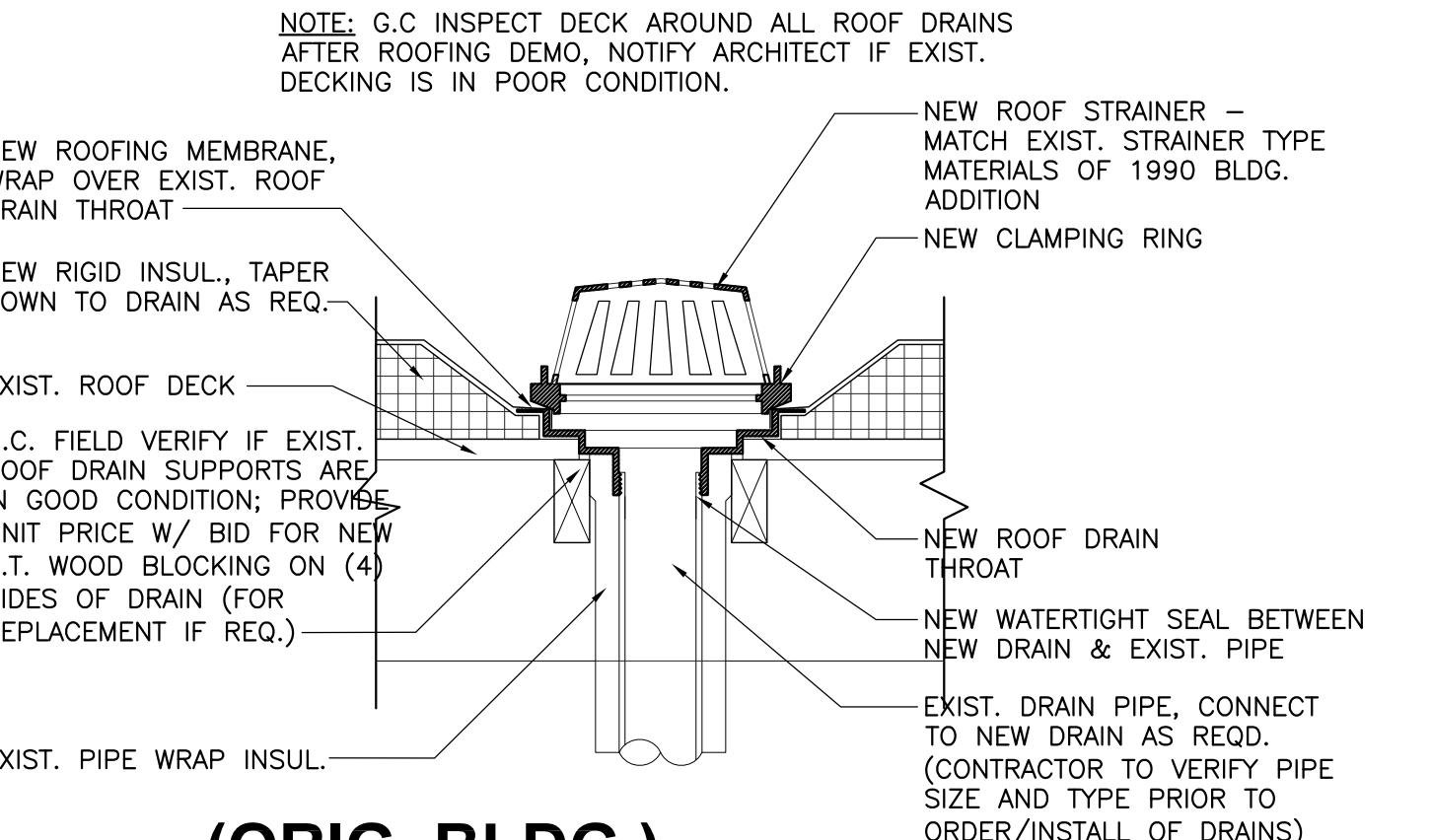
**(1990 ADDITION)
EXISTING PARAPET DETAIL**



**TERMINATION BAR/
FLASHING DETAIL**



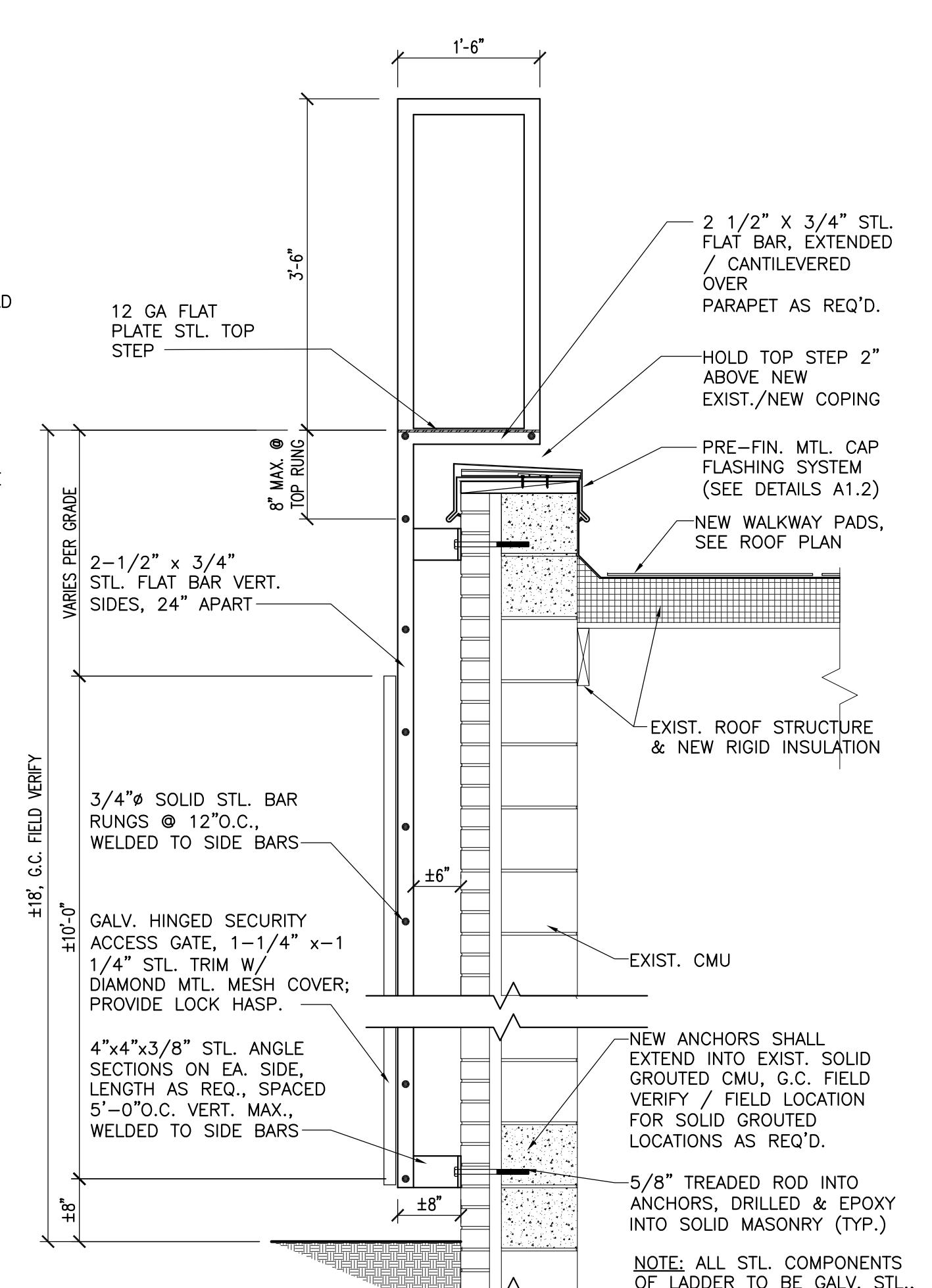
DETAIL @ SLOPED METAL ROOF



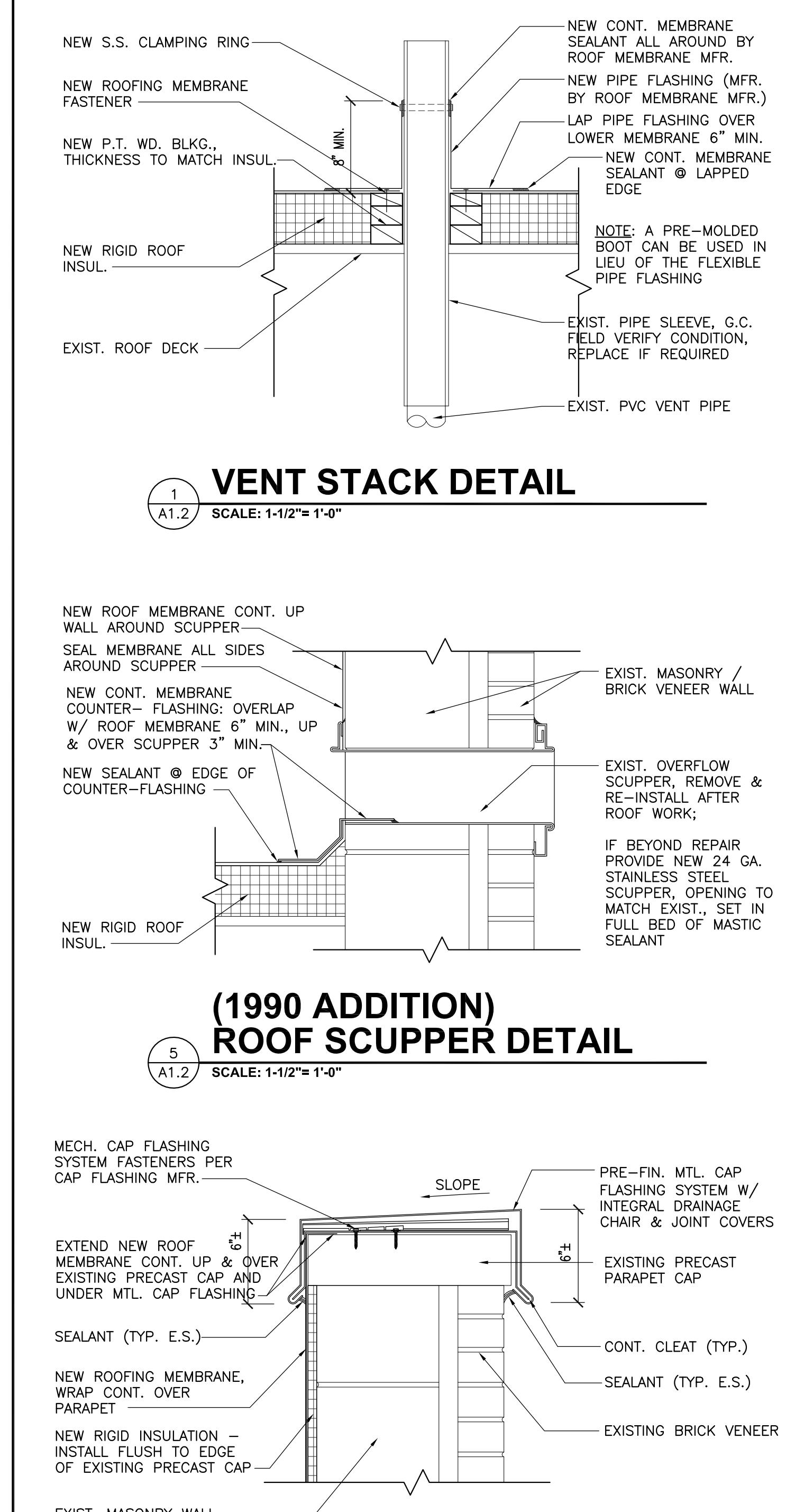
**(ORIG. BLDG.)
ROOF DRAIN DETAIL**

NOTE: ALL WORK REQUIRED FOR INSTALLING NEW PRIMARY ROOF DRAINS AND EMERGENCY DRAINS IN ORIGINAL BUILDING (DETAILS 10 AND 12 THIS SHEET) IS INTENDED TO BE CARRIED OUT FROM ABOVE ROOF, NO INTERIOR BUILDING DEMOLITION WILL BE ALLOWED. AS SUCH, CONTRACTOR SHALL INCLUDE WITH ANY NECESSARY DECKING REMOVAL AND REPLACEMENT AS REQ. TO INSTALL DRAINS.

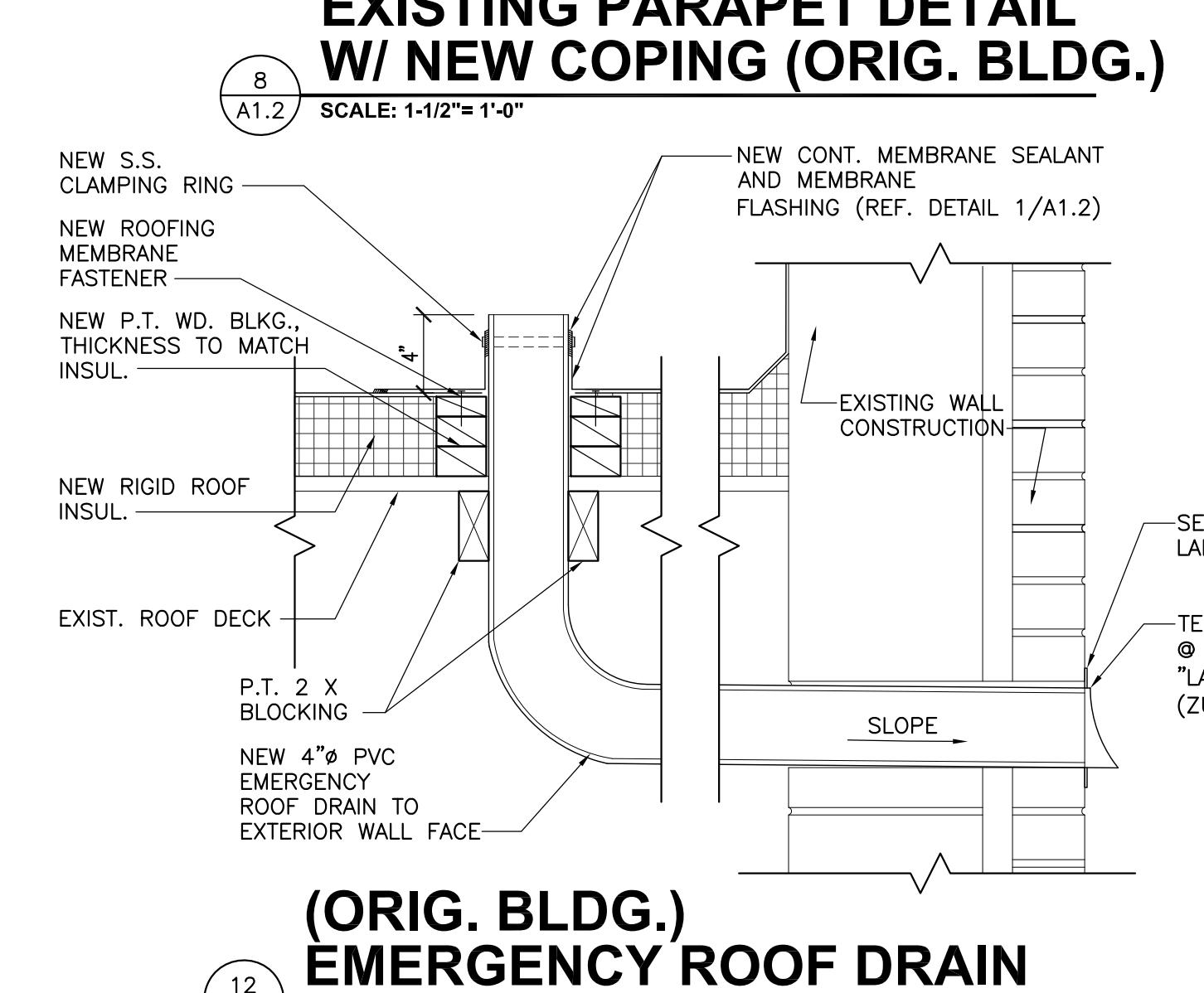
NOTE: G.C. INSPECT DECK AROUND ALL ROOF DRAINS AFTER ROOFING DEMO, NOTIFY ARCHITECT IF EXIST. DECKING IS IN POOR CONDITION.



NEW ROOF LADDER



**EXISTING PARAPET DETAIL
W/ NEW COPING (ORIG. BLDG.)**



**(ORIG. BLDG.)
EMERGENCY ROOF DRAIN**